

ORDINANCE NO. 2024-1622

AN ORDINANCE OF THE MAYOR AND COUNCIL OF THE CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA, ADOPTING CITY OF GOODYEAR DESIGN GUIDELINES MANUAL DATED NOVEMBER 2024; REPEALING ORDINANCE NO. 2014-1292, PROVIDING FOR A SAVINGS CLAUSE; PROVIDING FOR SEVERABILITY; PROVIDING FOR PENALTIES, AND AN EFFECTIVE DATE.

WHEREAS, on May 24, 1999, the City of Goodyear, Arizona, adopted Article 1 (Administration and Procedures) of the City of Goodyear Zoning Ordinance.

WHEREAS, on February 26, 2001, the Mayor and Council of the City of Goodyear, Arizona, adopted Ordinance No. 2001-739 amending Article 1 of the Goodyear Zoning Ordinance to add Article 1-4 (Design Guidelines Manual and Design Review Process), which provided for a process for the adoption of a Design Guidelines Manual; and

WHEREAS, February 26, 2001, the Mayor and Council of the City of Goodyear, Arizona, adopted Ordinance No. 2001-735 adopting the City of Goodyear Design Guidelines dated January 17, 2001, which document was made a public record by Resolution No. 2001-754; and

WHEREAS, on July 11, 2011, the Mayor and Council of the City of Goodyear, Arizona, adopted Ordinance No. 2011-1242, repealing Ordinance No. 2001-735 and adopting the City of Goodyear Design Guidelines dated July 11, 2011, which document was made public record by Resolution No. 2011-1437; and

WHEREAS, on June 9, 2014, the Mayor and Council of the City of Goodyear, Arizona, adopted Ordinance No. 14-1292, repealing Ordinance No. 2011-1242 and adopting the City of Goodyear Design Guidelines dated June 9, 2014; which document was made a public record by Resolution No. 14-1617; and

WHEREAS, the City of Goodyear Design Guidelines dated June 9, 2014, was amended by Ordinance No. 2020-1477 on September 28, 2020 to amend Chapter 3 (Multi-Family Residential) to add design standards for the MF-12 Zoning District and adopted; and,

WHEREAS, the City of Goodyear desires to update the Design Guidelines Manual to provide a clear, concise and user-friendly document with flexibility in the design review process; and,

WHEREAS, the City of Goodyear Design Guidelines Manual dated November 2024, is consistent with goals contained in the City of Goodyear General Plan as adopted, establishing guidelines to create "a community that distinguishes itself through its high-quality character and design" (LC-5), encouraging quality design and creativity; and,

WHEREAS, staff presented the Planning and Zoning Commission a draft of the design guidelines manual on October 16, 2024; and,

WHEREAS, staff presented the City Council a draft of the design guidelines manual on October 21, 2024; and,

WHEREAS, the Planning and Zoning Commission at their regularly scheduled meeting on November 6, 2024 recommended approval of the proposed design guidelines to the City Council; and,

WHEREAS, following the approval of the proposed Design Guidelines Manual by the Planning and Zoning Commission, a final draft of the proposed design guidelines was prepared in which two revisions were made to Section 1.4, the "How To Use This Document" section of the Design Guidelines Manual, the first revision clarifies the ability of the Zoning Administrator to determine the applicability of guidelines and the second adds a statement that the exception process for applicants to request alternatives to applicable guidelines for innovative product design is established in Section 1.8 of the Design Guidelines Manual.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF GOODYEAR, MARICOPA COUNTY, ARIZONA, AS FOLLOWS:

SECTION 1. Adoption.

That certain document titled City of Goodyear Design Guidelines Manual dated November 2024, a copy of which is attached hereto as Exhibit A is hereby declared a public record and is incorporated herein by this reference, adopted and made a part of this Ordinance as if fully set forth in this Ordinance.

Either three paper copies or one paper copy and one electronic copy maintained in compliance with section A.R.S 44-7041 of the City of Goodyear Design Guidelines Manual dated November 2024 being declared a public record and adopted herein are ordered to remain on file with the City Clerk and to be available for public use and inspection during regular business hours.

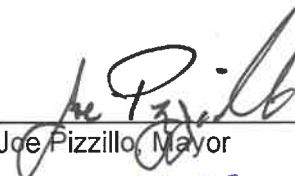
SECTION 2. Repeal & Savings Clause Ordinance No. 2014-1292, is repealed by this Ordinance but shall remain in full force and effect until the effective date of Ordinance No. 2024-1622.

SECTION 3. Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision and such holding shall not affect the validity of the remaining portions thereof.

SECTION 4 Penalties. Violation of any provision of Article 1-4 of the Zoning Ordinance of the City of Goodyear or of any provision of the City of Goodyear Design Guidelines Manual, dated November 2024, are subject to all criminal and civil penalties available as provided in Section 1-2-3 of the Zoning Ordinance of the City of Goodyear.

SECTION 5 Effective Date. This Ordinance shall become effective at the time and in the manner prescribed by law.

PASSED AND ADOPTED by the Mayor and Council of the City of Goodyear, Maricopa County, Arizona, by a 7-0 vote, this 18 day of November, 20 24.



Joe Pizzillo, Mayor
Date: 11-18-2024

ATTEST:



Darcie McCracken, City Clerk

APPROVED AS TO FORM:



Roric Massey, City Attorney



Exhibit A

CITY OF GOODYEAR DESIGN GUIDELINES MANUAL



**NOVEMBER
2024**

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CHAPTER 1 INTRODUCTION

The City of Goodyear takes pride in its character defining features, its dedication to creating vibrant neighborhoods, and the high-quality design of its built environment. As Goodyear continues to grow, the city desires to maintain a proactive approach to promoting development that is consistent with these core values and the overarching shared vision for the city as expressed in the Goodyear General Plan. This document provides guidance to inform design choices and complement, but not supersede, regulations within the city's land development ordinances, codes, and manuals.

1.1. PURPOSE

The following design guidance is intended to assist project applicants during the project design phase and City staff and decision makers in the review and approval process to devise solutions for design issues early in the development process. They provide specific and broad recommendations to create high quality buildings and site plans that will result in more attractive, livable, and safe, public spaces and neighborhoods. They aim to create a framework for design and to carry out the community’s vision—articulated in the General Plan and supporting land development documents—but flexible enough to allow for creativity and innovation in design and planning.

1.2. APPLICABILITY

The provisions of the Design Guidelines are applicable to all residential and non-residential development types within the City of Goodyear. Any new development, as well as building additions, exterior alterations and restoration, landscaping, or site plan modifications as explicitly defined within section 1-4-2 of the Goodyear Zoning Ordinance will adhere to these Design Guidelines as applicable. It is important to note, however, these Design Guidelines do not affect existing buildings, which are not proposed for new construction, exterior alterations or restoration, landscape modifications, or site plan changes.



1.3. ORGANIZATION

This document is organized into six distinct chapters that focus on making the document user friendly and easy to implement. The first two chapters contain administrative information and the key principles for high-quality design in Goodyear. All applicable development types will be evaluated for consistency with these chapters. Subsequently, the remaining chapters (Chapters 3-7) are organized by general development types and will only be referenced based on applicability of a projects existing or proposed use types.

Chapter 1 – Introduction

This chapter contains the introduction, purpose, and applicability of the Design Guidelines, as well as a summary of the content and understanding of how the design guidelines are to be used.

Chapter 2 – Design Philosophy and Principles

This chapter describes a set of leading design principles that articulate the desires and expectations for development in Goodyear. These principles ensure quality and serve as the basis for the supporting guidelines outlined in this document.

Chapter 3 – Residential

This chapter outlines design guidelines that apply to both single-family and multi-family residential developments. It covers various aspects of site design, including building placement, orientation, landscaping, and shading, as well as building design components such as massing, scale, articulation, color, and materials.

Chapter 4 – Commercial

This chapter outlines design guidelines that apply to all commercial, retail, and mixed-use developments. It covers various aspects of site design, including building placement and orientation, parking and circulation, public spaces, pedestrian amenities, landscaping, shade, service areas and utilities, and lighting. Additionally, the guidelines address architectural design components such as general design, building entrances, massing, scale, facade articulation, materials, colors, and signage.

Chapter 5 – Business Park & Office

This chapter outlines design guidelines that apply to all business park and office developments. It covers various aspects of site design, including building placement and orientation, parking and circulation, screening, public spaces, amenities, landscaping, shade, service areas and utilities, and lighting. Additionally, the guidelines address architectural design components such as general design, building entrances, massing, scale, facade articulation, materials, colors, and signage.

Chapter 6 – Industrial

This chapter outlines design guidelines that apply to all warehouse, manufacturing, technology, and other developments which provide employment. It covers various aspects of site design, including building placement and orientation, parking and circulation, screening, public spaces, amenities, landscaping, shade, service areas and utilities, and lighting. Additionally, the guidelines address architectural design components such as general design, building entrances, massing, scale, facade articulation, materials, colors, screening and signage.

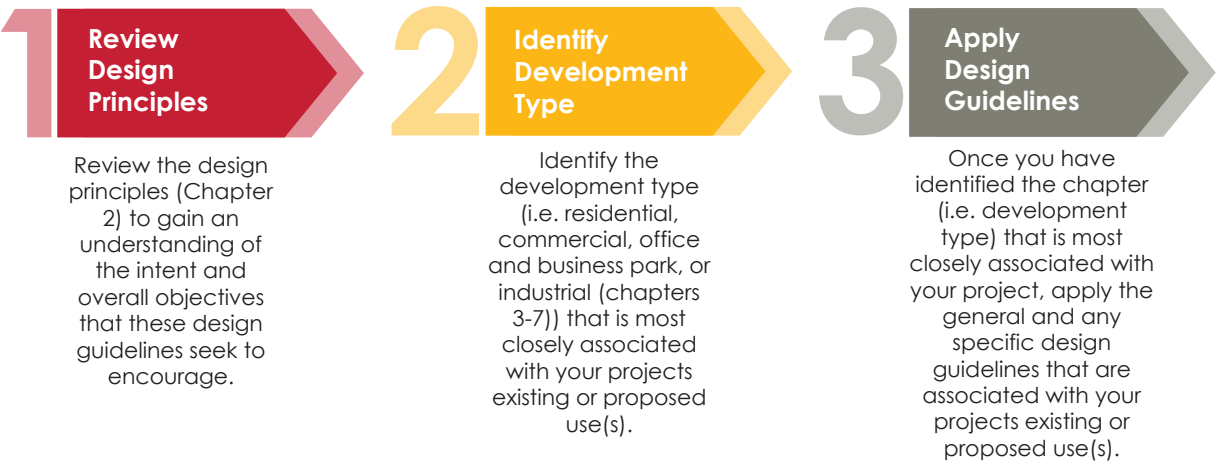
Chapter 7 – Area Specific Guidelines

This chapter contains guidance for how to apply design guidelines in areas which may have unique attributes and/or conditions. This includes sites or buildings that are or may be considered historic, areas where there is already a well-established thematic character, and/or major corridors which serve as gateways to the city.

Public Participation

The City of Goodyear fostered public participation throughout the creation of these design guidelines. Residents, developers, property owners, decision makers and staff participated in a series of meetings, open houses, workshops, surveys, and hearings. All feedback collected was used to shape the direction of these guidelines and prevent disparate or mediocre development by advancing the potential for high-quality, cohesive development.

1.4. HOW TO USE THIS DOCUMENT



As applicants and reviewers apply these design guidelines, the following additional considerations will need to be kept in mind:

Application of guidelines

These guidelines are not one-size-fits-all. In some cases, trying to apply all of the guidelines to a project could produce unintended conflicts or undesirable outcomes within a design. Consequently, certain guidelines may be more appropriate than others or take precedent over others, depending on the context, scale and use of the project or unique circumstances. This includes the ability of the Zoning Administrator to determine the applicability of any “shall” statements based on their individual applicability to the product type and in relation to the “Design Principles” within this manual. Determination of a guidelines precedent over conflicting guidelines or the applicability of multiple guidelines shall be considered during the Design Review Process through evaluation against the “Design Principles” of this Manual.

Addressing mixed-use projects

These guidelines recognize that certain projects may not be associated with a single development type (i.e. residential, commercial, office, industrial). Some projects may incorporate a mixture of uses via “horizontal mixed-use” or “vertical mixed-use.” “Horizontal mixed-use” means that individual uses are adjacent to each other within the same project. “Vertical mixed-use” means that individual uses are combined (often by stacking over each other) within a singular building.

The mixed-use site design guidelines contained in Chapter 4 shall apply to all development that proposes a mixture (horizontal or vertical) of residential and/or non-residential land uses. In addition, the individual components (i.e. residential, commercial, office) of a mixed-use development shall refer to the building design guidelines for each respective development type contained in Chapters 3-7.

Varied approaches to design

These guidelines serve as a starting point for the creative design process and should not be regarded as the sole solution for design. Property owners are encouraged to embrace creativity and innovation by developing designs that reinforce Goodyear’s overall character and identity, while simultaneously conveying a sense of continuity within each neighborhood and reflecting the individuality of each property.

Rather than stifling design freedom or discouraging innovation, the guidelines are intended to promote high-quality design that has been thoughtfully considered in both residential and non-residential applications. To achieve this, property owners are encouraged to collaborate with various stakeholders, including community groups, affected merchants, business owners, and City staff during the design process. This collaborative approach ensures that diverse perspectives contribute to the final design, fostering a holistic and context-sensitive outcome.

Levels of reference and adherence

These design guidelines have two levels of reference: requirements and recommendations. The following associated language is used consistently throughout to communicate requirements (i.e. “shall”, “must”) versus recommendations (i.e. “should”, “encouraged”). Development is required to comply with “shall” statements. In support, “should” statements reflect design conditions that are also important to address, but recognize that alternative approaches may also be effective in achieving desired outcomes. During the Design Review Process, applicants can propose alternatives to recommendation statements (i.e. “should”, “encouraged”) for consideration that meet the “Design Principles” as expressed in this Manual. Additionally, if a project is proposing to increase housing affordability, a special exception can be requested in accordance with Section 1.7 and an exception process has been established in Section 1.8 for Innovative Product Design.

Project Specific Design Standards

Development of, stand alone, project specific design standards that deviate from these Design Guidelines can be proposed through the rezoning process. Deviations may be considered and approved in association with a comprehensive development plan. However, any design standards not specifically addressed in the zoning case shall be subject to those contained within this Design Guidelines Manual.

Illustrations and photographs

The illustrations shown in this document are intended to provide examples of how these guidelines can be applied. They are not intended to illustrate the only or even the best way to meet the intent of the guidelines. Photographs that are provided as examples shall only be construed to represent an example of the specific standard it is illustrating. Photographs may include periphery items that are prohibited or discouraged by guidelines other than the guideline it is specifically illustrating.

Other reference documents

While these design guidelines provide supplementary and advisory recommendations for applicants as they are designing their projects, conformance with the following land development documents are requirements for project approval.

General Plan – The *General Plan* establishes a range of policies that focus on promoting quality in the built environment while also maintaining a sustainable community. It begins with a vision statement and a series of strategies to help to achieve that vision. In addition to the strategies that address how to achieve the community’s vision, the subsequent chapters of the General Plan provide more detail that specifically relate to the design review process and specific design topics.

Zoning Ordinance – Article 1-4 of the Goodyear Zoning Ordinance establishes this “Design Guidelines Manual that is intended to provide design criteria for site layout, building elevations, landscape plans, and parking arrangement in order to enhance the overall quality of design of Goodyear’s built environment.” Furthermore, the Zoning Ordinance provides mandatory development and individual use standards which influence design in their own way.

Engineering Design Standards & Policies Manual – The Engineering Design Standards and Policies Manual serves to guide developers and designers in planning and designing both public and private infrastructure with the aim of enhancing the quality of life for both Goodyear citizens and visitors.

Building Codes – The City’s currently adopted building codes and local amendments are published to enforce building standards for construction and use and are updated to reflect the latest standards of life-safety and construction technology.

These guidelines complement, but do not supersede, regulations and/or specifications in these land development documents.

1.5. DESIGN REVIEW PROCESS

The Design Guidelines will play a crucial role in the City’s development review process to achieve the highest level of design quality while allowing flexibility for project designers to respond creatively to existing site conditions. Design review constitutes only one component of this overall process. In addition to these guidelines, applicants involved in new development or rehabilitation must adhere to the development review processes outlined in Article 1-4 of the Zoning Ordinance to complete site and building improvements. Further, once designs are approved, they shall be maintained as approved.

During required pre-application meetings, City staff can provide information on permits, processing timelines, necessary steps for project approval, and relevant City codes and ordinances. Additionally, this early communication process helps both parties better understand project-specific design objectives, ultimately streamlining the overall development process and minimizing potential concerns.

1.6. EXCEPTIONS

When in compliance with all other City ordinances, the following projects are exempt from design review:

- 1. Construction underground, which will not result in a significant, permanent structure at or above grade level upon completion. Utility boxes, pipes, mechanical equipment, and poles shall be considered a “significant permanent structure” and is subject to design review as determined by the Development Services Director, or his/her designee.
- 2. Roof maintenance and repair (which does not increase the size of previously approved mechanical equipment). However, roof reconstruction or use of different materials is subject to design review as determined by the Development Services Director, or his/her designee.
- 3. Routine maintenance of buildings, landscaping (including relatively minor replacement of plants other than trees), or grounds (including parking lots) which does not significantly alter the appearance or function of the building, landscaping, or grounds.
- 4. Certain temporary uses, temporary structures and temporary signs as defined by the City of Goodyear Zoning Ordinance or other applicable codes and ordinances.
- 5. Interior remodels or interior tenant improvements.
- 6. Repainting or touch up of a building to its approved color scheme. Modifications to color schemes or the repurposing of certain materials/colors is subject to design review as determined by the Development Services Director, or his/her designee.

1.7. SPECIAL EXCEPTION FOR INCREASING HOUSING AFFORDABILITY

During the Design Review Process, applicants proposing to increase housing affordability can request a special exception from any “shall” guideline, provided the project continues to uphold the “Design Principles” as expressed in Chapter 2 of this Manual.

Guidelines for which an exception is being provided may be administratively approved by the Development Services Department director or his/her designee and may incorporate additional terms and conditions.

Any request for an housing affordability special exception from an applicable provision shall be submitted in writing along with all applicable exhibits as part of the Design Review Process.



1.8. EXCEPTION FOR INNOVATIVE PRODUCT DESIGN

Applicants proposing to create a unique or innovative development through the introduction of an innovative product or design may request an alternative to a “shall” guideline, provided the project aligns with and meets the intent of the General Plan policies, continues to uphold the Design Principles, furthers Neighborhood Character and Compatibility, considers and reduces the Impact of development on Surrounding Properties, furthers Sustainability and reduces Environmental Impacts, addresses negative impacts of Traffic and Accessibility Considerations, enhances the Aesthetic Contributions to the Community AND furthers Functional and Operational Feasibility.

Requested modifications and alternatives to “shall” guidelines must be submitted in the form of a Design Guidelines Justification document along with the applicants Site Plan or Design Review applications and shall demonstrate alignment with all of the following criteria:

- **General Plan Conformance:** Describe how the proposed design aligns with the city’s General Plan objectives and long-term vision.
- **Design Guidelines and Principles:** Highlight compliance with established design standards, while detailing any deviations and their benefits.
- **Neighborhood Character and Compatibility:** Show how the design integrates with and enhances the existing neighborhood or commercial area.
- **Impact on Surrounding Properties:** Discuss potential effects on adjacent properties, such as views, privacy, lighting, and noise.
- **Sustainability and Environmental Impact:** Outline sustainable practices and materials used in design, and address environmental impact mitigation.
- **Traffic and Accessibility Considerations:** Address how the project will impact local traffic and its accessibility, including pedestrian and transit considerations.
- **Aesthetic Contribution to Community:** Explain how the design contributes positively to the community’s aesthetic and architectural character.
- **Functional and Operational Feasibility:** Ensure the design supports the intended use effectively and safely.

The application will be reviewed by the Development Review Committee (DRC). The DRC shall evaluate the application based on the justification criteria provided in the narrative. The DRC will then forward a recommendation for approval, approval with modifications, or denial to the Planning and Zoning Commission. The application shall be scheduled as a Business item for a Planning and Zoning Commission meeting. The Commission may decide whether to Approve the staff recommendation, approve the staff recommendation with modifications or deny the staff recommendation. Any decision made by the Planning and Zoning Commission may be appealed to the City Council by the applicant. If the applicant or an affected party wishes to appeal the Commission’s decision, they may submit an appeal to the City Council within fifteen (15) business days. The City Council will review the appeal and may uphold, modify, or overturn the Planning and Zoning Commission’s decision.



CHAPTER 2 DESIGN PHILOSOPHY AND PRINCIPLES

Design is of course a broad term that means different things to different people. Thus, any attempt to rigidly define it inevitably falls short in some way. Due to the rapid growth in Goodyear over the recent past, defining “good design” is further challenged given the constantly evolving physical, social, and economic conditions that exist.

Consequently, this document utilizes a set of foundational design principles that when applied with the accompanying supporting design guidelines help Goodyear grow and change in a manner that is not only beautiful, but also socially integrated, environmentally responsible, and economically sustainable.

2.1. DESIGN PRINCIPLES

These design principles are the underlying objectives of good project planning and design. The accompanying design guidelines expressed in chapters 3-7 expand on these guiding principles to provide greater detail about how the city will evaluate projects for conformance with this document. Although it is understood that not all design guidelines presented in this document will be applicable to all proposed projects, conformance with these design principles is required.

The following outlines two key aspects; Levels of Design Context and Design Objectives, which when combined, form the foundational design principles for this design guideline manual:

Levels of Design Context

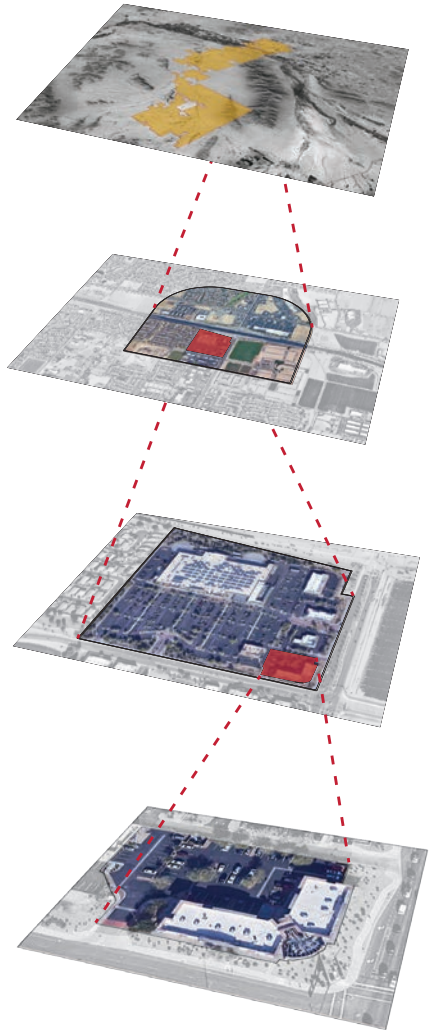
The degree of consideration that may be needed in a project varies with different levels of perception, in terms of physical development of the city. These may be considered the different types of “contexts” in which a project is designed and evaluated. The following reflects the varying levels of consideration that may be applied to a project in order to ensure compatibility across all contexts of the city.

Citywide - At this broadest level, the objective is to ensure that each property improvement contributes to the distinct and collective identity of Goodyear.

Neighborhood - This relates to each of the neighborhoods as identified in either the General Plan, or in specific plans, planning overlays, planned communities or neighborhoods that developed organically. Each has variations in character, defined by views and natural features as well as recent or planned development patterns. This may also include the evolution of neighborhoods to incorporate new General Plan concepts.

Development - This typically applies to an individual commercial center, office cluster or industrial park, but can also include specific projects or infill within or surrounded by a residential neighborhood or mixed-use development. Maintaining some character-defining “themes” throughout the development that are consistent with the broader elements of continuity established for the Neighborhood and Citywide levels of consideration are important, while also expressing some features unique to the development itself.

Site - At this level, the project itself and surrounding conditions are often more of a consideration. It is at this level where project and building individuality can be most directly expressed within the confines and the larger context of the site.



Design Objectives

The cumulative effect of achieving the following design objectives is to create holistic designs where the individual parts work together to create a diverse yet cohesive, attractive, and sustainable whole.

Provide environmentally-focused designs - Desired site and building design utilize strategies that recognize our desert environment and design in that fashion so as to decrease energy use, support water stewardship and conservation, reduce urban heat island effects, manage stormwater runoff, and mitigate air pollution.

Create a sense of place - Successful urban design produces diversity, distinctiveness, and a sense of place within the community through applying site design, building form, and construction/landscape materials that are appropriate to the setting and purpose of development.

Bring streets to life - Provide development that facilitates connectivity through multi-modal transportation while paying special attention to the attractiveness of the street frontage.

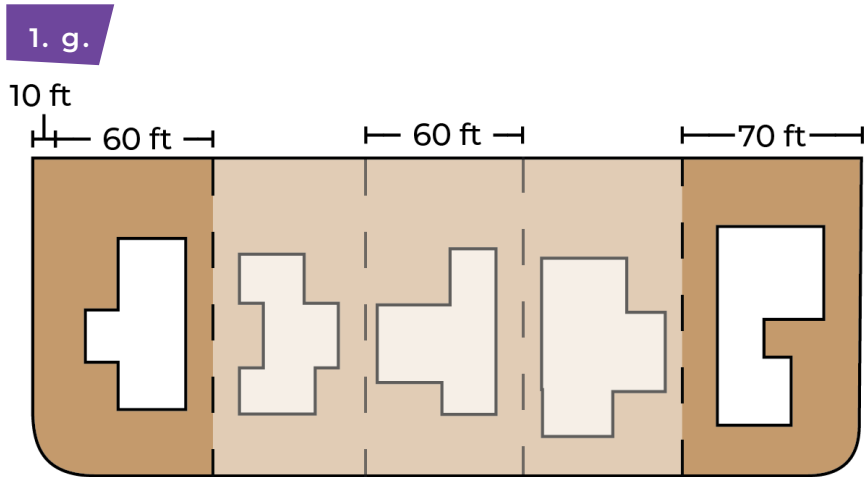
Apply proper transitions - A cohesive design depends on uses and buildings that complement one another. Site planning and buildings shall promote compatibility through proper buffering and design techniques that blend with the pattern of its surrounding context.



CHAPTER 3 RESIDENTIAL

Residential Design Guidelines will serve as a valuable resource for project designers and property owners, providing clarity on the City's vision for achieving high-quality residential development in Goodyear. These guidelines play a crucial role during the City's development review process, serving as essential criteria for evaluating projects that require approval.

The overarching objective within the development review process is to create designs that foster a sense of community, promote compatibility across diverse residential neighborhoods, and embody the desired quality and character that define Goodyear. By adhering to these guidelines, the city aims to preserve the aesthetics, functionality, and livability of residential neighborhoods, ensuring a vibrant and harmonious environment for all residents.



3.1. General Guidelines for Single-Family Residential

All single-family residential development shall comply with the following guidelines, except single-lot residential development in the AG zoning district which is only subject to the development regulations provided in the Zoning Ordinance.

The following general guidelines are intended to supplement the single-family development standards provided within the Zoning Ordinance and shall be applied universally to all single-family residential development, unless otherwise stated herein. After referencing this section, users should further reference the subsequent “Specific Single-Family Use Type Guidelines” section to apply unique guidelines that are specific to their single-family use type (i.e. single-family detached and single-family attached).

A. Site Design

1. Site Layout

- a. Minimizing construction of building pads in sensitive areas is encouraged, along with clustering dwellings to help preserve larger areas of natural terrain.
- b. To minimize glare from vehicle headlights and to promote safe traffic maneuverability lots should not be designed to center on T-intersections unless adjustments or mitigation can be demonstrated.
- c. No street shall be allowed to terminate on a blank wall or narrow landscape tract (less than 15-feet). Streets should terminate on cul-de-sacs with lots or common open space with pedestrian connections.
- d. Siting of lots/homes that take advantage of passive solar techniques to achieve an efficiency of energy use is encouraged.
- e. If cul-de-sacs designs are utilized, developments are encouraged to utilize landscape islands and/or parking nodes in the design of cul-de-sacs to reduce pavement coverage, enhance neighborhoods and provide functional spaces. When provided, landscape islands shall be designed to meet all required turning radii for fire access and refuse collection.
- f. The lotting design should incorporate and retain features of the natural environment such as drainage ways, associated vegetation masses and mature specimen trees.
- g. Corner lots are encouraged to be at least ten (10) feet wider than interior lots to accommodate housing product and street side setbacks or provide a landscape tract between the lot and the street.
- h. Where lots back onto local, collector, or arterial streets, a minimum ten (10) foot landscaped tract shall be provided, measured from the right-of-way line to the wall.

2. Arrival

- a. The developer shall provide an appropriately-scaled sense of arrival at all primary and secondary entries into the community and individual subdivisions. Entries shall be designed as integrated elements of the overall development and should be marked by features such as decorative paving, landscaping treatment, planters, special wall treatment, or any other character giving features.
- b. When larger developments are adjacent to the intersection of two arterials, the arterial corner should be enhanced to create an overarching project arrival for the entire neighborhood and/or development.
- c. Primary-themed entry features are encouraged to use back-lit decorative lighting to enhance walls and signage.
- d. Smaller, secondary entries into a development are encouraged and should match the theme of the primary entry.
- e. Perimeter walls that exceed 8 feet in height and interior walls that exceed 6 feet in height shall incorporate terracing, with a minimum planter width of three (3) feet provided between the terrace(s) to create a functional planter area. The wall nearest the sidewalk, street, or other usable space in this configuration should be the shortest in height.
- f. When a water feature is provided as an element for a subdivision entry the developer shall consider water conservation best practices when designing and siting the feature.

3. Access & Circulation

- a. Configure roadways to provide complete streets, prioritizing improvements that provide access to services, schools, parks, civic uses and similar such uses.
- b. Long, straight local streets, with no traffic calming or stop devices, in excess of 1,320 feet are discouraged and shall be limited.
- c. Traffic calming devices such as roundabouts, landscape islands or medians to reduce the potential speed of traffic are encouraged where a signal or stop sign is not provided, in accordance with the Engineering Design Standards.
- d. Internal circulation, within individual residential neighborhoods, shall consider pedestrian circulation as follows:
 - i. Integrate and continue existing pedestrian walkways and/or multi-use trails from adjacent developed and undeveloped areas through the community's network of open space areas. Future pedestrian connections to adjacent development shall be planned, where possible.
 - ii. Developments, including gated developments, shall provide pedestrian access to adjacent non-residential areas, such as schools and churches, and adjacent collector and arterial roadways. Pedestrian access to schools, shopping, and public transportation should be convenient.
 - iii. Provide ample space for pedestrian flow and circulation, particularly in areas where there is already heavy pedestrian traffic or where the project is expected to add or attract pedestrians to the area.
 - iv. Create a safe environment throughout the project by providing lines of sight and encouraging natural surveillance through strategic placement of walkways/trails, walls, and open space.

2. a.



3. c.



3. d.



3.d.iv.



- v. Trail networks should meander and be designed to provide a ramped crossing when interrupted by local streets. The crossing shall include pavers, colored concrete, or stamped concrete. Along collector roadways, trails shall be designed to account for safe crossing locations.
- vi. Decorative theme lighting, accent lighting, or lighted bollards shall be placed along walkways within and pedestrian connections to usable open space areas to improve visibility and safety.



4. Open Space & Amenities

- a. Public or “common open space” areas shall be incorporated into the site as a primary design feature and not just as remnant pieces of land used as open space.
- b. The design of improved open space should recognize and incorporate views, climate, solar angles, shade, and outdoor activities, which could occur in conjunction within the project.
- c. Open space areas shall incorporate pedestrian connections to adjoining residential uses, public rights-of-way, commercial projects, schools and other compatible land use facilities.
- d. Storm water retention facilities that cannot be utilized as recreational amenities are discouraged. All storm water facilities should be aesthetically pleasing and integrated into the development’s open space system.
- e. A commons or neighborhood park should be placed near the center of the community with opportunities for both active (e.g., pickleball, basketball, play area, etc.) and passive recreation (e.g., walking paths, seating, fountains, gardens, etc.). While these areas may incorporate a hard surfaced plaza, the emphasis should be on providing a usable green area or outdoor gathering spaces, that include shade, to encourage year-round usage for social interaction, relaxation, recreation, and visual relief.
- f. Programmed open spaces and recreational areas shall be located so that they can be observed from the front of nearby homes and from the street. Housing should front onto neighborhood parks and open space. Housing that backs onto programmed open space and recreational areas should be kept to a minimum and avoid completely encircling such areas to maintain visual security and accessibility.

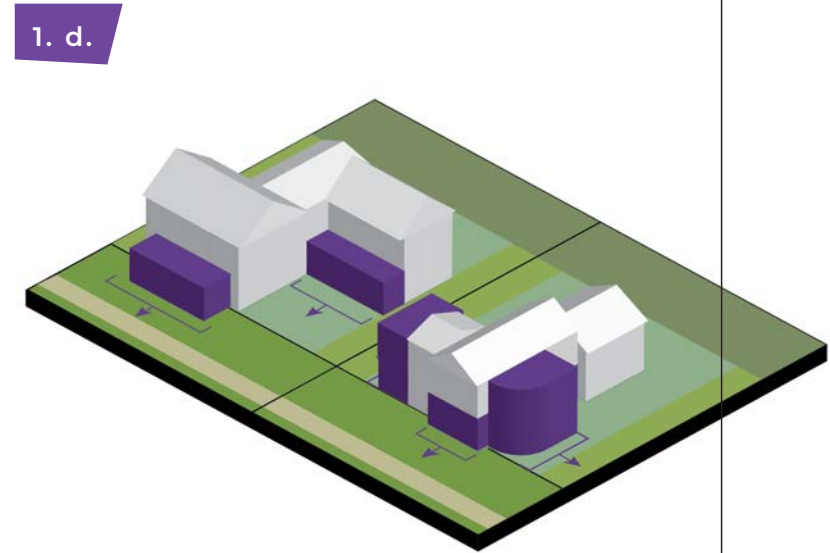
- g. Community gardens are encouraged to promote a sense of community and foster a sense of pride in the garden and the surrounding area. Community gardens should be provided in appropriate locations.
- h. Water features should not be provided for ornamental purposes only. When provided, water features shall be designed in a manner that provides environmental (i.e. cooling) or recreational (i.e. play) benefit to residents. Further, consider summer evaporation loss and water conservation practices when designing and siting water features.

5. Landscaping

- a. The predominant use of grass is prohibited. Grass areas (not including artificial turf) shall be limited to a maximum of 30 percent of the total lot. Where grass is provided, the grass area should be large enough to be usable and watered efficiently.
- b. For general landscape areas and plantings in the public right-of-way, use of native vegetation and low water plants shall conform to the Phoenix Active Management Area Low Water Using Plant List and City of Goodyear Zoning Ordinance Plant Matrix, unless otherwise approved. All landscaped areas shall be planted in conjunction with an efficient water system.
- c. Flowering trees and shrubs should be used to provide color and accentuate the overall design.
- d. Planting designs should consider the long-term growth and expected maturity of trees, shrubs, and ground cover landscaping on a site. Plantings should also be grouped based on similar water, nutrient, and sun needs to ensure long-term growth and maturity.
- e. Appropriate shade trees should be utilized to reduce the urban heat island effects.
- f. Planter strips with detached sidewalks are encouraged on local streets and shall be a minimum of five feet in width and contain trees and ground cover.

6. Perimeter Walls & Fences

- a. Subdivision perimeter walls shall be constructed using materials that include decorative masonry block, stucco, and/or decorative stone; be enhanced using materials and colors that complement the project's architecture; and be designed in a manner which creates an attractive appearance to the street.
- b. Subdivision perimeter walls shall include at least one of the following and be broken up by pillars or staggered setbacks every 150 feet to provide visual interest and soften their appearance:
 - i. Pillars with caps, and/or decorative stone.
 - ii. Incorporation of decorative wrought iron, trellises, raised planters, or other artistic features in context with the area.
 - iii. Incorporation of various textures, and variations in height in conjunction with landscaping.
- c. Privacy walls visible from the street shall be constructed with compatible materials and colors of the homes or be cohesive with the colors/materials of the overall development's theme wall. Homes adjacent to common open space areas shall contain wrought iron grillwork and at minimum partial view walls to provide visual access to open space, but also maintain privacy for the individual lot.



SECTION 3.1.A

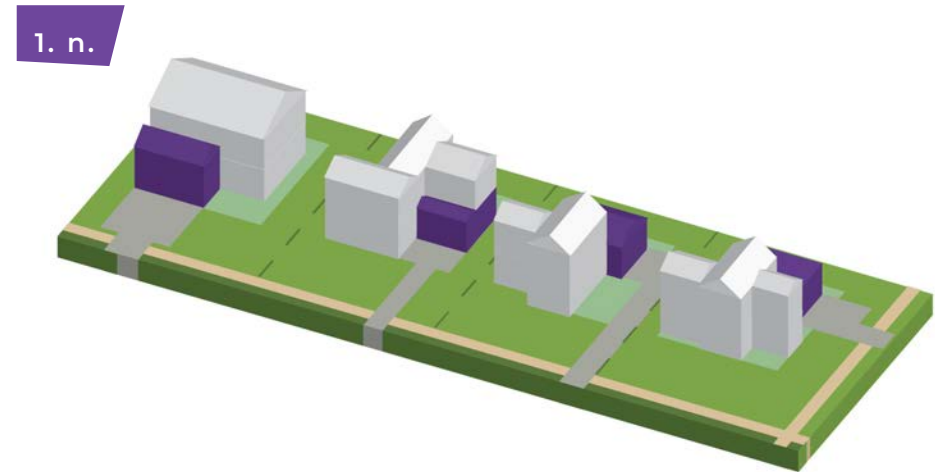
B. Architecture & Building Design

1. Massing & Articulation

- a. Create diversity by varying the bulk and mass of buildings. Avoid a monotonous streetscape by creating diverse elevations using substantial architectural elements on all elevations. The following are some elements that may be used to add visual interest and a sense of human scale to the homes:
 - i. Horizontal and vertical wall plane changes
 - ii. Varied roof forms and orientations
 - iii. Bay windows
 - iv. Roof dormers
 - v. Applied decorative features
 - vi. Overhanging eaves
 - vii. Recessed windows
- b. Usable front porches are encouraged. Front porches should match the scale and architectural detail of the home.
- c. Where houses in a development back onto collector or arterial streets, a variety of roof designs shall be utilized as to avoid a series of repetitive roof slopes viewable from the right-of-way.
- d. Two-story houses should have a single-story element closest to the front of the house and/or next to the street. Such architectural diversity may include varying front setbacks due to locating the garage to the rear of the lot, adding usable courtyard area and/or using building placement to create private outdoor spaces.
- e. All façades facing a street should provide a sense of human scale and be proportionate to the pedestrian.
- f. Long, unbroken facades are prohibited. Techniques for varying wall planes include integration of vertical or horizontal recesses and projections.



SECTION 3.1.B



- g. Building articulation shall emphasize entries through the use of roof elements, columns, porticos, recesses or pop-outs, and/or other architectural features.
- h. The primary entry, or front door, to a home shall be visible from and oriented to the street or provide a portal, courtyard or other pedestrian level streetscape enhancement to help accentuate the front facade..
- i. The design of accessory structures shall be architecturally similar to the main structure through the use of the same architectural treatment, materials and colors.
- j. Roof mounted HVAC and evaporative cooler equipment is discouraged; if located on the roof, it shall be fully concealed below a rooftop parapet. All mechanical equipment shall be properly screened from public view.
- k. All roof pipes, vents, and other roof penetrations and attachments, and equipment shall be configured to have minimal visual impact as seen from the street. Roof penetrations (except chimneys) shall not extend above the ridgeline and shall be painted or architecturally integrated with the roof design and color.
- l. Utilizing “carriage-style” and other non-conventional sectional garage door styles is recommended to provide additional diversity and to better tie in with architectural themes.
- m. A minimum of two (2) coach lights shall be placed at the front face of the garage or other appropriate front facade location for security and should be architecturally compatible with the main structure. When a garage is alley loaded, the lights shall additionally have automatic on/off sensors.
- n. Regarding forward facing garage plans, the garage portion of the house shall not extend out beyond the porch or livable portion(s) of the home by more than six (6) feet. Where forward facing garages project beyond the porch or livable areas of the home, the plan shall include portals, low courtyard walls with pilasters, or other deemphasizing techniques approved by the City, that extend out beyond the front of the garage face.
- o. Provide one and a half or two-story massing so that the garage is a smaller part of the overall front façade of the home.
- p. Driveway paving material comprised of pavers or stamped, colored or textured concrete are encouraged.
- q. All visible elevations of a side entry garage shall appear as livable area by utilizing windows, wainscot or other design elements compatible with the design of the structure.

2. Materials & Color

- a. Use materials, color, and other architectural treatments to create visual unity and an identifiable character. Exterior materials and architectural details should complement each other.
- b. High-quality, authentic building materials including brick, masonry, stucco, adobe, and stone shall be utilized. Durable synthetic products, such as cast stone and fiber cement board may also be considered.
- c. Use of wood as trim or accent material is encouraged. Wood products should be of sufficient quality and should be substantial in proportion and appearance.
- d. Acceptable roof materials include clay, slate, or concrete. Use of asphalt and wooden roof shingles are prohibited. Non-reflective metal roofs may be utilized in select conditions as an accent roof material. For adobe style homes, alternative roof materials may be considered.
- e. Material changes should occur at a change in wall plane or terminated by an architectural feature to appear integral to the structure and avoid a tacked-on appearance.
- f. Exposed gutters and downspouts should be colored to match fascia or wall material.
- g. Exterior building colors should be compatible with the surrounding neighborhood setting and should be in keeping with the geographic and climatic conditions specific to Goodyear.
- h. Earth tone colors traditionally used in the desert southwest are suggested; however, deep, rich accent colors are recommended instead of using a pale color palette. Bright colors should be used sparingly as an architectural detail element. Further, for purposes of implementing these guidelines, application of black, gray, and white shall be considered shades and not colors.

- i. Houses shall be painted at least one color and an additional two accent colors or shades for a total of three. Materials that are a different color than the painted portion of the house shall count towards the three color/shade requirements.
- j. The main body color(s) for individual homes shall be distinctly different from one another and not simply utilize varying shades of grey or varying shades of tan to accomplish the three unique colors.
- k. Accent colors/shades utilized on individual homes shall add vibrancy to the base color of the homes and not simply be a darker, lighter or muted shades/colors/version of the primary homes base color
- l. The upper portions of any structure, that are visible above a perimeter wall shall utilize a unique color for the trim, fascia, siding, recessed features, shutters, pop-outs, etc. The color shall be different than the main body color of the home in order to add to the uniqueness and street character of the project

3. Solar

South Facing Pitched Roofs (within 45 degrees east or west of due south)

- a. Solar panels should be low profile and parallel with the plane of the pitched roof.
- b. The top of the panels should not exceed 8 inches above the adjacent finish roofing surface (i.e. tile, shingles, etc.). Panels should not project above the roof ridge line.
- c. Placement of solar panels should be uniform. Consider the panels as part of the overall roof configuration. Match the shape and proportions of the panels with the shape and proportions of the roof.
- d. The color of the panel frames and support structure shall be neutral and compatible with the roof surface color(s). Exposed frames and components should have a non-reflective surface.



North and East/West Facing Pitched Roofs (within 45 degrees of south of due east or west)

- e. Panel tilt angle should not exceed 15 degrees above horizontal plane.
- f. Height of panels should not exceed 24 inches above the roof surface at any point. Panels should not project above the roof ridge line.
- g. Placement of solar panels should be uniform. Consider the panels as part of the overall roof configuration. Match the shape and proportions of the panels with the shape and proportions of the roof.
- h. The color of the panel frames and support structure shall be neutral and compatible with the roof surface color(s). Exposed frames and components should have a non-reflective surface.

Flat Roofs (½-inch or less per foot slope)

- i. Top of panels should not exceed 30 inches above the adjacent finish roofing surface on flat roofs with or without parapets.
- j. The placement and height of panels should be uniform. When not screened by a parapet, consider the solar panels as an integral part of the overall roof configuration.
- k. The color of the panel frames and support structure shall be neutral and compatible with the roof surface color(s). Exposed frames and components should have a non-reflective surface.



3.2. Specific Single-Family Use Type Guidelines

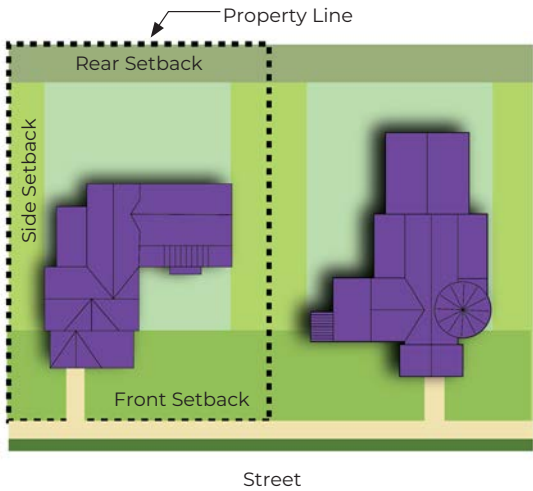
The city allows for a variety of single-family residential development ranging from detached large and medium lot residential to cluster/small lot residential developments. Recognizing the unique design characteristics of these single-family residential types, the following design guidelines are provided to specifically address certain issues pertaining to these housing types.

A. Single-Family Detached

The following single-family detached guidelines shall be further applied to residential lots that contain a single housing unit which shares no common walls with an adjoining unit and has a setback on all four sides of the housing unit.

1. Standard Plan Guidelines for Multi-Lot Development

- a. Proposed multi-lot residential projects shall include the following:
 - i. At least three (3) significantly different architectural styles, including a variety of roof forms and ridgelines facing any street, shall be provided for each standard floor plan offered. The same standard plan and elevation shall not be built next door to, or across the street from one another (i.e. Plan 1 Elevation A shall not be built next door to, or across the street from Plan 1 Elevation A).
 - ii. Proposed residential projects should include at least six (6) different color schemes and at least two (2) different roof tile styles in three (3) different colors. Clay and concrete tiles shall be considered one material type. However, alternating tile types (e.g. flat tile and mission tile) may be considered as different roof material types.
 - iii. A minimum of three (3) roof styles are required. Roof styles may include, but not limited to pitched, hip, flat, gambrel or mansard, and shall be consistent with the architectural style selected.
 - iv. A minimum of three (3) roof material types are required. Clay and concrete tiles shall be considered one material type. However, alternating tile types (e.g. flat tile and mission tile) may be considered as different roof material types.
 - v. Standard features such as stone, brick or other significant accent facade material should be provided (i.e. not as an option) on at least one (1) elevation for each floor plan available.



2. Landscaping

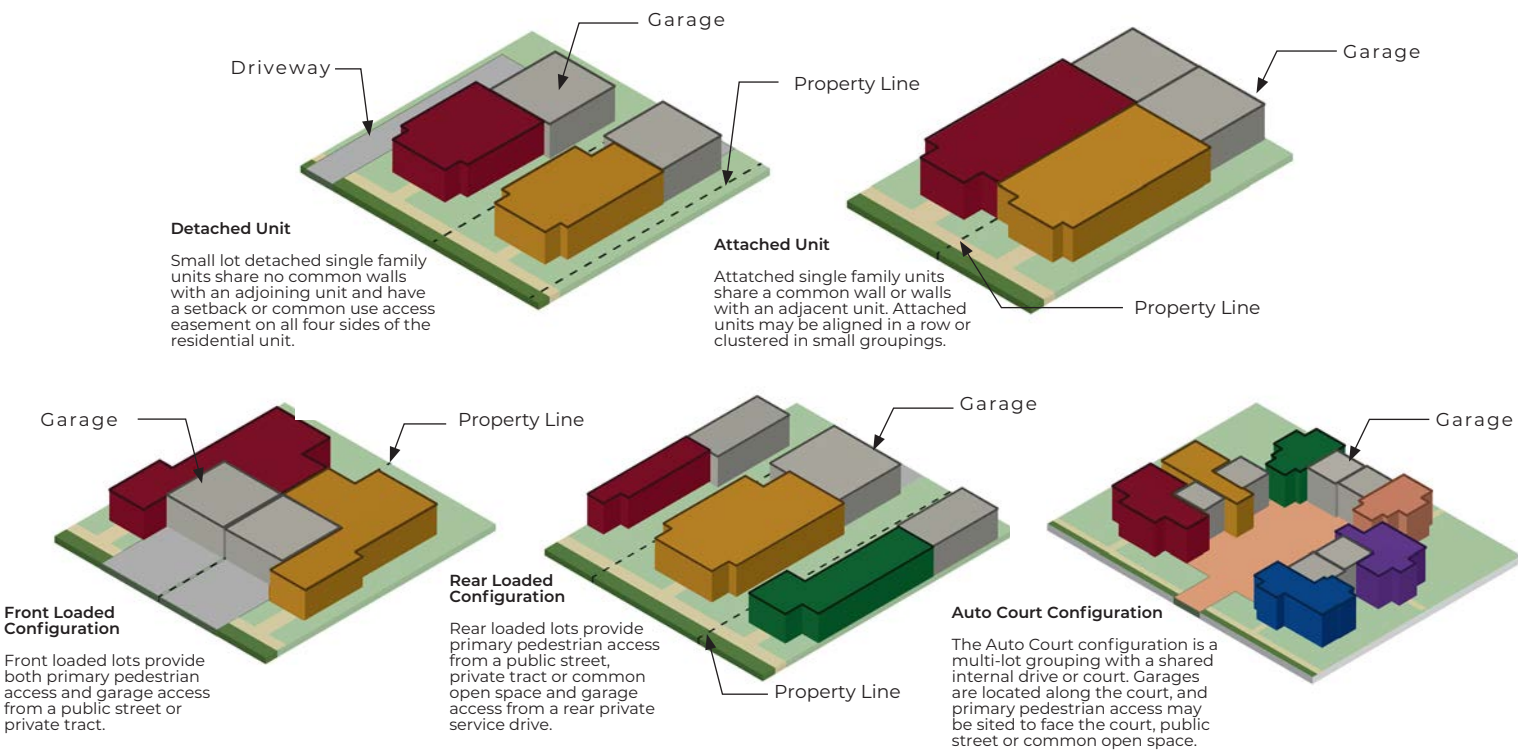
- a. Production home builders are responsible for providing landscaping in all planted areas within the front yards of single-family detached home lots. Builders are required to offer at least three (3) significantly different front yard landscape packages (i.e. options) for each primary lot size. No high water use plants or turf shall be offered in front yard landscape packages. A home buyer custom design can be used as a landscape package.

3. Massing & Articulation

- a. A usable, covered outdoor patio shall be provided on the rear side of each residential unit. Covered patio dimensions should be at least 100 square feet, with a minimum interior dimension of ten feet (10').
- b. Within multiple lot developments, a variety of garage placements shall be offered on the same block in order to de-emphasize garage doors and avoid garages from dominating the streetscape and the front of the house. Utilizing a combination of attached or detached garages that are recessed, side entry, or placed at the rear of the home, is encouraged.

B. Single-Family Cluster/Small Lot

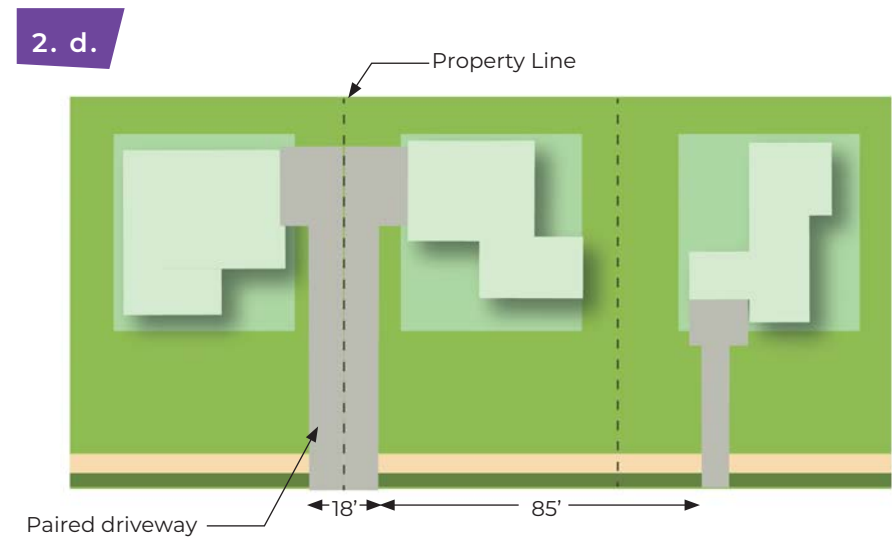
The following single-family cluster/small lot guidelines shall be applied to residential lots that may be attached or detached units, and are presented in three primary configurations; front loaded, rear loaded or auto court.



1. Standard Plan Guidelines for Multi-lot Development

- a. At least three (3) different elevation styles shall be provided for each floor plan.
- b. A minimum of three (3) alternative color schemes for each elevation shall be provided and shall contain related hues to present a unified design. Homes with adjacent facing walls shall not utilize the same color scheme. Homes located diagonally from one another may share common color schemes.
- c. A minimum of two (2) roof styles are required. Roof styles may include, but not limited to pitched, hip, flat, gambrel or mansard, and shall be consistent with the architectural style selected.
- d. A minimum of two (2) roof material types are required. Clay and concrete tiles shall be considered one material type. However, alternating tile types (e.g. flat tile and mission tile) may be considered as different roof material types.
- e. Standard feature stone, brick or other significant accent facade material shall be provided as a standard feature (i.e. not as an option) on at least one (1) elevation for each floor plan available.
- f. Alternatively, singular multi-story residential units that are attached in a row (i.e. townhouse style buildings) are encouraged to appear cohesive in their overall design, while the design of individual units should give the appearance of individual units being adjacent to one another; this may be achieved through a combination of building massing, varied roof heights and styles, along with base and accent color articulation.





2. Site Layout

- a. Primary building facades shall be oriented to the primary street as follows:
 - i. Residential street layouts that incorporate alleys with access to rear garages are encouraged, especially when lot widths are less than 60 feet.
 - ii. Perimeter units, which face a local private or public street, shall be varied in orientation toward street frontages to create architectural diversity and visual interest.
 - iii. The development should be developed with a complementary blend of residential units at a scale compatible with adjacent lower density residential uses, for instance, if adjacent residential developments are developed with heights of 20 feet, the adjacent residential units within the development shall be of a similar scale, i.e. at or below 20 feet.
- b. Residential street layouts that incorporate alleys with access to rear garages are encouraged.
- c. For detached units a variety of garage placements should be offered on the same block in order to de-emphasize garage doors and avoid garages from dominating the streetscape and the front of the house. Recessed garages, side entry, and garages placed at the rear of the home, are encouraged.
- d. Clustering driveways for detached units so that there is at least 36 feet of uninterrupted curb between the clustered driveways is encouraged. Alternatively, driveways may be paired so that there is a single curb-cut providing access to 2 houses, and the total width for the paired driveway is not more than 18 feet.
- e. Individual driveways for attached units should be separated by a minimum 2 foot wide landscape strip. Alternatively, for attached units with multiple garage doors that are located within one building, the maximum number of garage doors adjacent to one another shall be limited to 3, unless there is a break in the building façade between garage doors. The break shall contain a major architectural feature, such as a building entrance or equivalent feature.
- f. For auto-court conditions, garages must be located around courtyards paved with pavers or stamped, textured concrete from curb to garage. Where the front entry to the home also faces the court pedestrian pathways (clearly denoted by alternative paving material, pattern or finish) shall also be provided.
- g. Auto-court conditions should be arranged in rectilinear forms with the garages clustered as much as possible.
- h. The entry drive into an alley for an alley-loaded development, measured at 200 feet or less from the corner of the connecting public or private street, that intersects with an alley at a T-intersection or continues as an L shaped alley is not a separate alley.
- i. For alley-loaded development where an alley serves multiple rear garages, the linear length of the alley shall not exceed 450' unless either (1) the fronts of lots being served by the alley are fronting along a public street (or private street built to public street standards) OR (2) lots adjacent to the alley's entrance provide street frontage to a public street (or private street built to public street standards) that intersects the alley. Any portion of the alley adjacent to common area open space tracts shall not count towards the maximum 450' alley length.